

**City of Cranston  
Zoning Board of Review  
Application**

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review  
35 Sockanosset Crossroad Suite 6  
Cranston, RI 02920

Date: 9/10/2024

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Cobble Hill Development, LLC

ADDRESS: 51 Jefferson Blvd, 4th Floor, Warwick, RI 02888 ZIP CODE: 02888

APPLICANT: SAME

ADDRESS: SAME ZIP CODE: \_\_\_\_\_

LESSEE: N/A

ADDRESS: N/A ZIP CODE: \_\_\_\_\_

1. ADDRESS OF PROPERTY: Vacant lot on Hemlock Avenue

2. ASSESSOR'S PLAT #: 5-3 BLOCK #: \_\_\_\_\_ ASSESSOR'S LOT #: 967 & 968 WARD: \_\_\_\_\_  
5-4 2087

3. LOT FRONTAGE: 50 feet LOT DEPTH: 188.5 feet LOT AREA: 8,524 sq. feet

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A6 6,000 s.f. 35 feet  
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: N/A PROPOSED: 28 feet

6. LOT COVERAGE, PRESENT: N/A - vacant lot PROPOSED: 15% lot coverage

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? since 9/1/2023

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? No

9. GIVE SIZE OF EXISTING BUILDING(S): N/A

10. GIVE SIZE OF PROPOSED BUILDING(S): 30' x 38' single family with deck

11. WHAT IS THE PRESENT USE? vacant lot

12. WHAT IS THE PROPOSED USE? single family home

13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: 1

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: \_\_\_\_\_

Applicant seeks a dimensional variance for 1) lot frontage; and 2) width. Relevant zone requires 60 ft., but only 50 feet exists, resulting in 10 ft. relief request.

15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? No

16. WERE YOU REFUSED A PERMIT? No

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.

Section 17.20.120 - Regulations for the relevant zone

Section 17.92(B) and 17.92(C)

18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: \_\_\_\_\_


Applicant seeks a dimensional variance (aka deviation under case law precedent) for the relevant substandard lot of record.

Applicant will provide expert testimony to demonstrate that all relevant standards will be satisfied to obtain 10 ft. of relief

for lot frontage and width.

**SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.**

**RESPECTFULLY SUBMITTED,**

 (John S. Shekarchi) Esq.  
Sect. Member  
(OWNER SIGNATURE)  
Cobble Hill Development, LLC

1-401-722-3600  
(PHONE NUMBER)

\_\_\_\_\_  
(OWNER SIGNATURE)

\_\_\_\_\_  
(PHONE NUMBER)

\_\_\_\_\_  
(APPLICANT SIGNATURE)

\_\_\_\_\_  
(PHONE NUMBER)

\_\_\_\_\_  
(LESSEE SIGNATURE)

\_\_\_\_\_  
(PHONE NUMBER)

John Shekarchi ESQUIRE  
(ATTORNEY SIGNATURE)

401.722-3600  
(PHONE NUMBER)

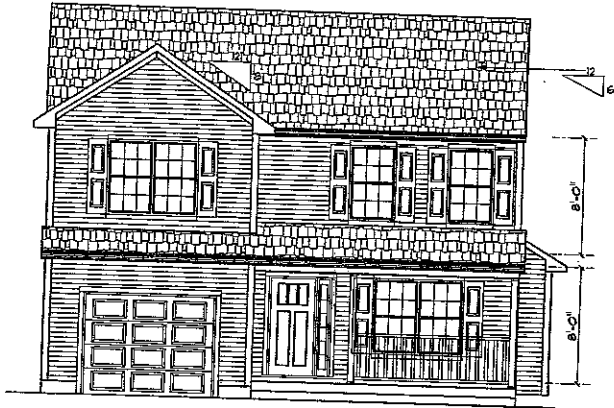
 Esquire  
(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: 51 Jefferson Blvd Warwick RI 02888

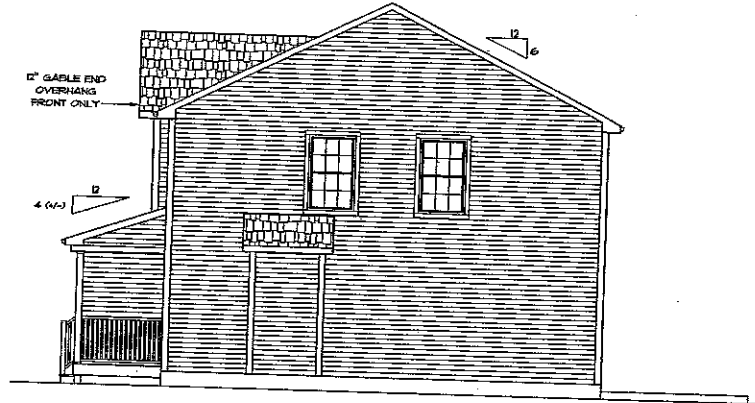
**PRE-ZONING APPLICATION MEETING:**

\_\_\_\_\_  
(PLANNING DEPT. SIGNATURE)

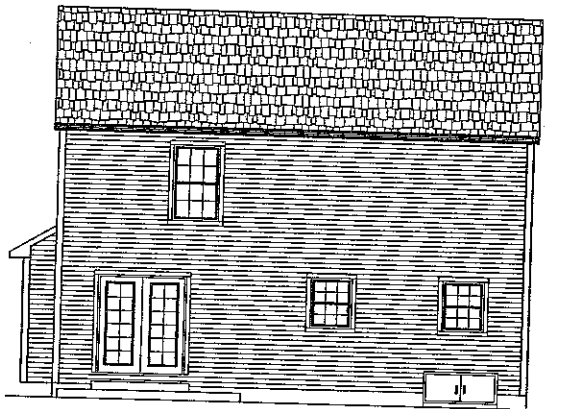
\_\_\_\_\_  
(DATE)



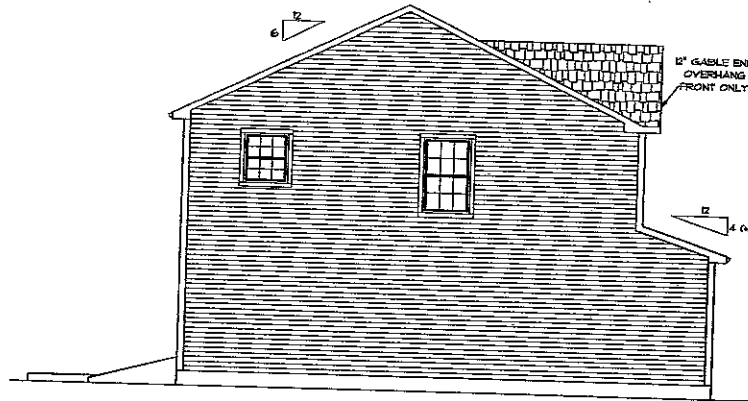
**FRONT ELEVATION 1/4"=1'-0"**



**RIGHT SIDE ELEVATION 1/4"=1'-0"**



**BACK ELEVATION 1/4"=1'-0"**



**LEFT SIDE ELEVATION 1/4"=1'-0"**

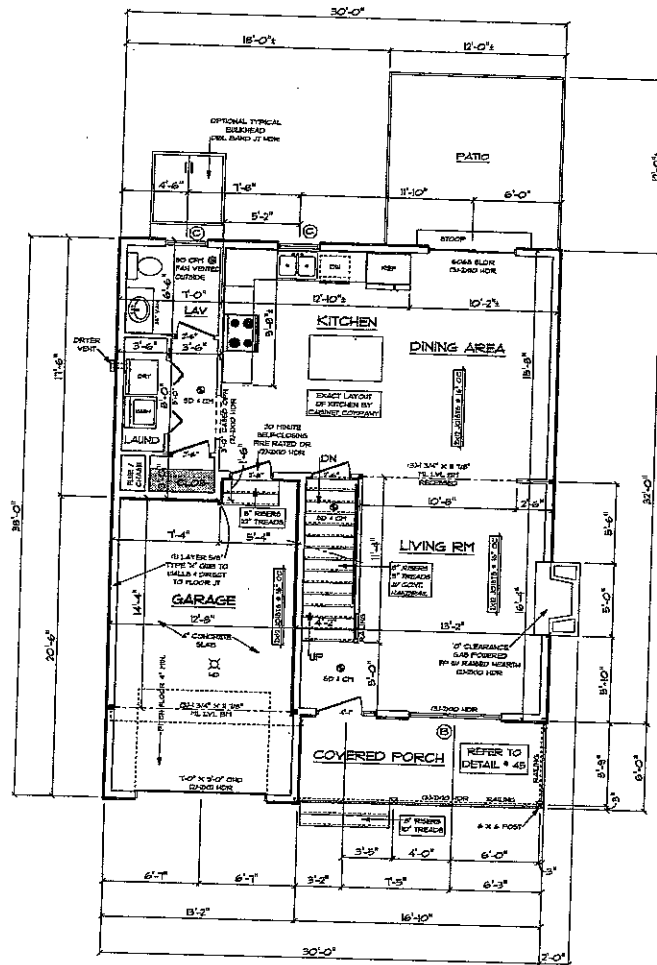
**32 X 30 COLONIAL**  
 PREPARED FOR:  
 AG CONSTRUCTION  
 0 MAGNOLIA STREET  
 GRANBURY, RIDGE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SIMILARITY ONLY. OUR COMPANY, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN AMENDED WITH BY OTHER PARTIES.

**DIR DIMENSIONS**  
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 DIRDIMENSIONS.COM

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 DENVER, CO 80202  
 ALL RIGHTS RESERVED  
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 PERMISSION IN WRITING FROM  
 DIR DIMENSIONS, INC.

SCALE NOTED  
 DATE Tuesday, August 30, 2022  
 APPROVED DRR  
 DRAWN BY DRR  
 DRAWING NUMBER 6657-42



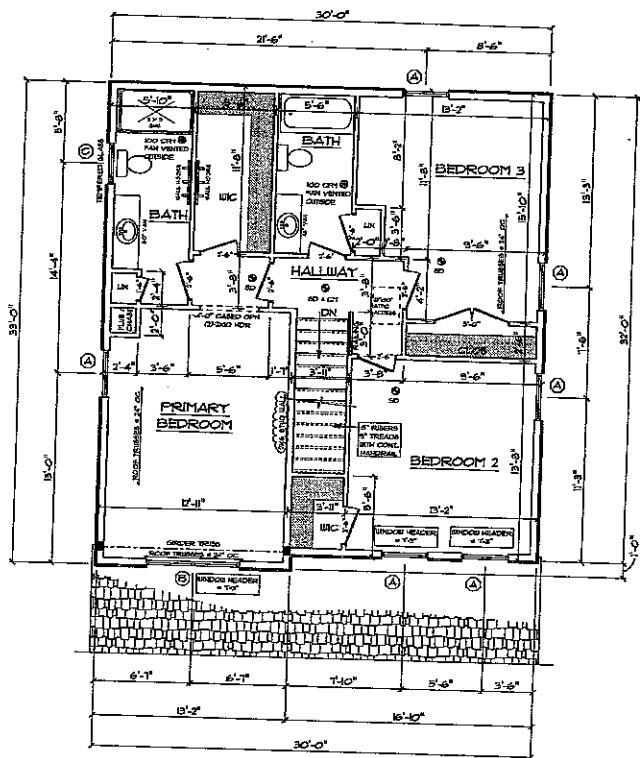
**FIRST FLOOR PLAN 1/4"=1'-0"**

2X6 STUDS @ 16" OC AT ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED

FIRST FLOOR: 146 SQ FT  
SECOND FLOOR: 914 SQ FT  
TOTAL: 1060 SQ FT

**LEGEND:**

- SOLID BEARING TO FOUNDATION
- TYPED GLASS
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE DETECTOR 4 CARBON MONOXIDE
- ⊕ HOT WATER
- ⊕ HEATING UNIT/ BOILER
- ⊕ 100 CFM FAN VENTED TO OUTSIDE
- ⊕ HEAT DETECTOR
- ⊕ WALK IN CLOSET
- ⊕ MAKE UP COUNTER
- BEARING WALL
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING TO BE REMOVED
- ⊙ WINDOW UNIT NUMBER
- ⊙ DOOR UNIT NUMBER



**SECOND FLOOR PLAN 1/4"=1'-0"**

2X6 STUDS @ 16" OC AT ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED

POINT LOAD FROM ABOVE PROVIDES THE FOLLOWING: IF SOLID BLOCKING BETWEEN BEAMS FOR BOLL AND PLYWOOD SUBFLOOR IN A PORTION OF THESE STUDS IN A BEARING WALL, AS BEAM JOCKS

WINDOW SCHEDULE					
TYPICAL HEADERS @ 2" X 8"			TYPICAL SILLING HEIGHT @ 4'-0"		
NO.	ROOM	DESCRIPTION	TYPE	GLASS	FINISH
1	BEDRM	12'-11" X 12'-11"	DM	6-10	3/4"
2	BEDRM	12'-9" X 12'-9"	DM	6-10	3/4"
3	BEDRM	11'-10" X 11'-10"	DM	6-10	3/4"
4	BATH	5'-6" X 3'-6"	DM	6-10	3/4"
5	BATH	5'-6" X 3'-6"	DM	6-10	3/4"
6	HALLWAY	11'-0" X 6'-0"	DM	6-10	3/4"
7	PORCH	16'-10" X 3'-0"	DM	6-10	3/4"

DOOR SCHEDULE					
TYPICAL HEADERS @ 2" X 8"			TYPICAL SILLING HEIGHT @ 4'-0"		
NO.	ROOM	DESCRIPTION	TYPE	GLASS	FINISH
1	BEDRM	12'-11" X 12'-11"	DM	6-10	3/4"
2	BEDRM	12'-9" X 12'-9"	DM	6-10	3/4"
3	BEDRM	11'-10" X 11'-10"	DM	6-10	3/4"
4	BATH	5'-6" X 3'-6"	DM	6-10	3/4"
5	BATH	5'-6" X 3'-6"	DM	6-10	3/4"
6	HALLWAY	11'-0" X 6'-0"	DM	6-10	3/4"
7	PORCH	16'-10" X 3'-0"	DM	6-10	3/4"

DESIGN PRESSURE		
WIND SPEED	120 MPH	DESIGN PRESSURE
WIND DIRECTION	ANY	DESIGN PRESSURE
WIND PROFILE	300'	DESIGN PRESSURE
WIND EXPOSURE	3	DESIGN PRESSURE
WIND EFFECT	1.1	DESIGN PRESSURE

- THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.
1. PERIOD - 3 - 30Y
  2. WIND DESIGN - ASCE 7-100 MPH
  3. LOAD DESIGN - 40 PSF DECK AREA LOAD, 30 PSF FLOORING AREA LOAD, 30 PSF DEAD LOAD, 30 PSF ATTIC LOAD, 40 PSF EXTERIOR DECK LOAD, 30 PSF SNOW LOAD
  4. FLOOR DEPTH FINISH @ 1 1/2" DBP
  5. CLIMATE ZONE - 3
  6. CONSTRUCTION TYPE: 4B
  7. FINISHING HEIGHT: FINISH 30'-0"
  8. REMOVED FROM TOP OF FOUNDATION TO KNEE
  9. ALL INSULATION IN EXTERIOR WALLS AND BASED ON THE CRETE/ISA PER THE PROSPECTIVE NEEDS OF TABLE NEDDLS OF THE LATEST CONSTRUCTION CODES.

**DLR DIMENSIONS**  
RESIDENTIAL DESIGNERS & CONSULTANTS

401.738.3156  
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32 X 30 COLONIAL  
PREPARED FOR:  
AG CONSTRUCTION  
C MAGNOLIA STREET  
CRANSTON, RHODE ISLAND

CONSTRUCTION IS AS DRAWN  
FOR ENCLASING ONLY  
FOR AMENDMENTS, THE  
OWNER SHALL BE RESPONSIBLE FOR  
CHANGES THAT HAVE BEEN MADE  
BY OUTSIDE PARTIES

SCALE  
NOTED

DATE  
Thursday, August 10, 2023

APPROVED  
DRR

DRAWN BY  
DRR

DRAWING NUMBER  
6657-42

1 of 4

**TYPICAL NAILING SCHEDULE**  
**TYPICAL FLOOR**  
 JOIST TO PLATE OR GROUND, USE NAIL (2) 8D  
 JOIST TO JOIST (2) 8D  
 SHEATHING TO JOIST OR FRAMING OR GROUND NAIL  
 OR NAIL (2) 8D NAIL ON JOIST OR NAIL (2) 8D  
 NAILS 4" FROM EDGE OF JOIST

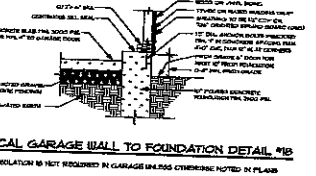
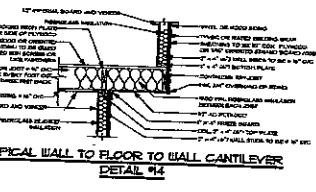
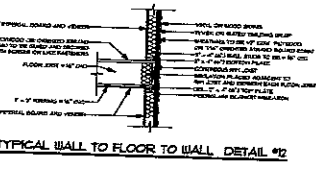
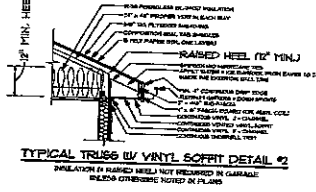
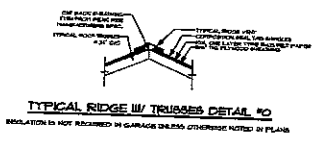
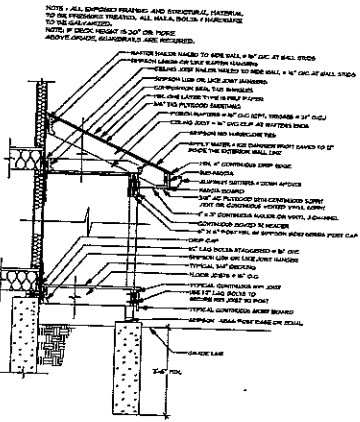
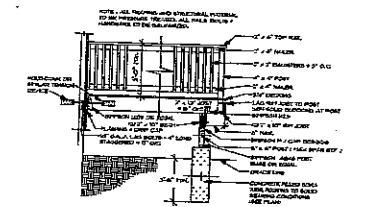
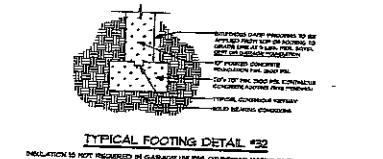
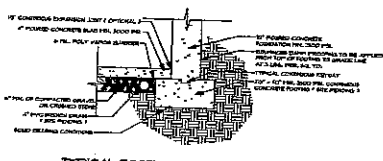
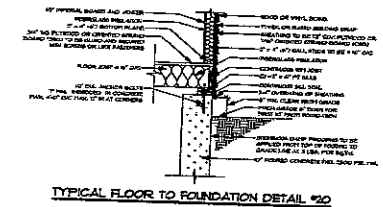
**TYPICAL SHEATH GIRDERS AND BEAMS**  
 AT TOP AND BOTTOM STAGGERED,  
 180 NAILS AT EACH END AND AT EACH JOIST

**TYPICAL WALLS**  
 BOTTOM PLATE TO JOIST (2) 8D OR 1" O.C.  
 JOIST TO BOTTOM PLATE (2) 8D OR 1" O.C.  
 BRIS TO TOP PLATE (2) 8D OR 1" O.C.  
 DOUBLE TOP PLATE (2) 8D OR 1" O.C.  
 DOUBLE BRIS (2) 8D OR 1" O.C.  
 PLATE NAIL AT CORNER AND INTERSECTIONS (2) 8D  
 12" WALL BREATHING TO SHEATHING (2) 8D OR 1" O.C.  
 12" WALL BREATHING TO JOIST OR FRAMING (2) 8D OR 1" O.C.  
 4" FROM EDGES OF JOIST

**TYPICAL SHEATH HEADINGS**  
 TWO PICES WITH 1/2" SPACER NAIL 4" FROM EACH EDGE

**TYPICAL SHEATH**  
 CEILING JOIST TO PLATE, USE NAIL (2) 8D  
 CEILING JOIST TO PARALLEL PARTITION, FACE NAIL (2) 8D  
 NAIL TO PLATE, USE NAIL (2) 8D  
 12" WALL BREATHING TO SHEATHING (2) 8D OR 1" O.C.  
 12" WALL BREATHING TO JOIST OR FRAMING (2) 8D OR 1" O.C.  
 4" FROM EDGES OF JOIST

**GENERAL NOTES**  
 EXERCISE CARE IN ALL ENDORSEMENTS AS PER CODE  
 MOORE DETECTORS & CARBON MONOXIDE AS PER FIRE PROTECTION CODE  
 PROVIDE A 2" X 3" X 6" ACCESS OPENING  
 ALL DIMENSIONAL NOTES AND OTHER INFORMATION CONTAINED IN THESE DIMENSIONS FOR CONSTRUCTION PURPOSES ARE SUBJECT TO CHANGE AND FACILITY CONTRACTOR ACCORDING TO LOCAL AND STATE BUILDING CODES  
 THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY CHANGES THAT WOULD AFFECT THE STRUCTURE PHYSICALLY ORIGINALLY  
 IMPROVEMENTS OR OTHER CONDITIONS THAT CAUSE A DEVIATION FROM THE CONSTRUCTION SCHEDULE AND IS THE RESPONSIBILITY OF THE DESIGNER & CONTRACTOR TO MAINTAIN STRUCTURAL INTEGRITY AND CONFORMANCE TO APPLICABLE CODES  
 WOOD ROOF TRIMS SHALL BE TO BE REMOVED, SAVED, REFINISHED AND BRACED IN ACCORDANCE WITH RECOMMENDATIONS. PROVIDE APPROVED TRUSS ENGINEERING AND LAYOUT TO DESIGNER AND OBTAIN OFFICIAL PRIOR TO START OF CONSTRUCTION



NOTE: ALL DIMENSIONS AND STRUCTURAL MATERIALS TO BE PROVIDED THROUGHOUT ALL WALLS, ROOFS & PARTITIONS TO BE GUARANTEED.  
 NOTE: IF OVER HEIGHT IS SHOWN ON THESE ABOVE GRADE DIMENSIONS ARE REQUIRED.

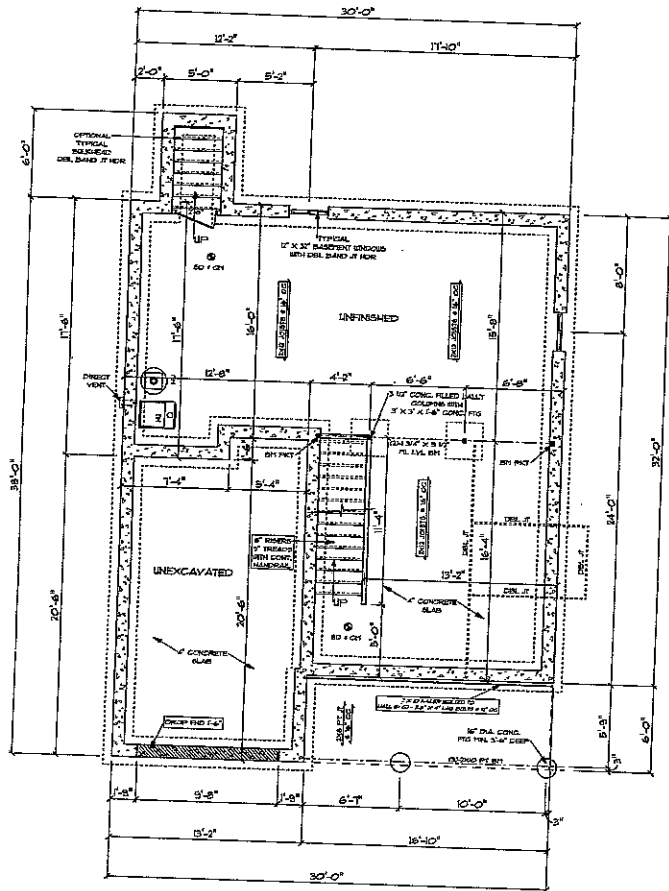
32 X 30 COLONIAL  
 PREPARED FOR:  
 AS CONSTRUCTION  
 0 MAGNOLIA STREET  
 CREATION, ROCKE ISLAND

CONSTRUCTION PLANS ARE QUALIFIED FOR SINGLE-FAMILY ONLY.  
 CLEAR DIMENSIONS AND DOES NOT SHOW THE USE OF PLANS THAT HAVE BEEN AMENDED WITH ANY OTHER PARTS.

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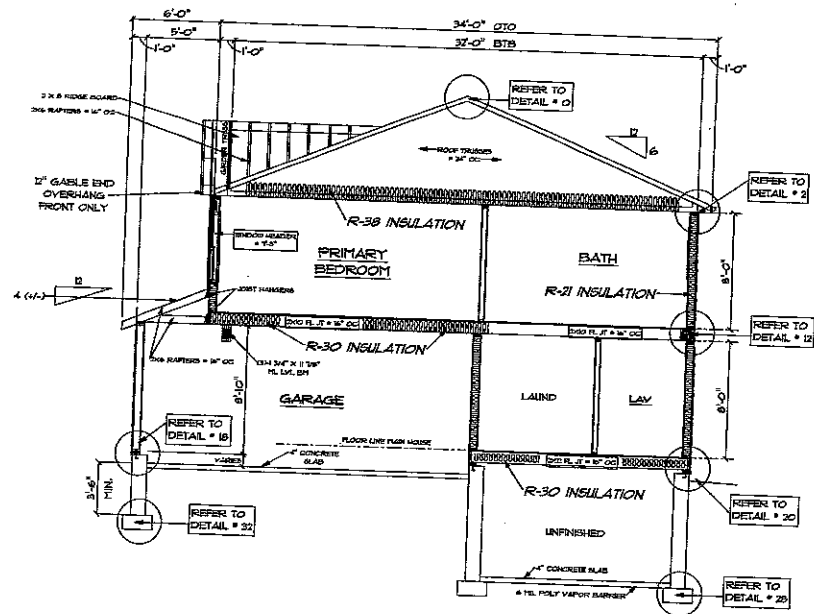
ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
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SCALE	NOTED
DATE	Tuesday, August 30, 2023
APPROVED	DRR
DRAWN BY	DRR
DRAWING NUMBER	6657-42



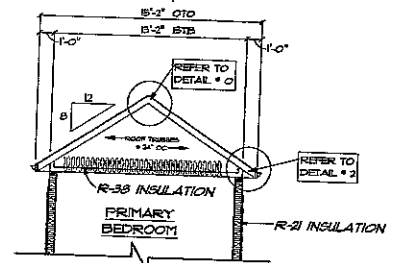
**FOUNDATION PLAN 1/4"=1'-0"**

NOTE:  
ALL DROPS IN FOUNDATION WINDOWS  
AND DOORS ARE SITE FENDING AND  
ARE UP TO THE DISCRETION OF THE  
BUILDER / CONTRACTOR.



**CROSS SECTION 'A' 1/4"=1'-0"**

2x6 STUDS = 16" OC  
AT ALL EXTERIOR WALLS  
UNLESS OTHERWISE NOTED



**DETAIL 'B' 1/4"=1'-0"**

**ISOMETRIC CONNECTIONS**

■ = POINT LOAD FROM ABOVE  
 PROVIDE THE FOLLOWING:  
 2x4x8 FLOORING BETWEEN BEAM  
 OR SILL AND PLYWOOD SUBFLOOR  
 2x4 JOIST OR THREE STUDS IN  
 A BEARING WALL, AN BEAM JOIST  
 OR POST.

PROVIDE SIPS-ON TYPE  
 POST CAP AT ALL SPLICES  
 AND CONTIGUOUS BEAM  
 CONNECTIONS.

SEE STRUCTURAL PLANS AND  
 NOTES FOR REQUIRED CONNECTIONS  
 AND ANCHOR REQUIREMENTS.

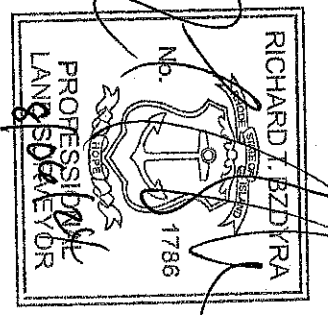
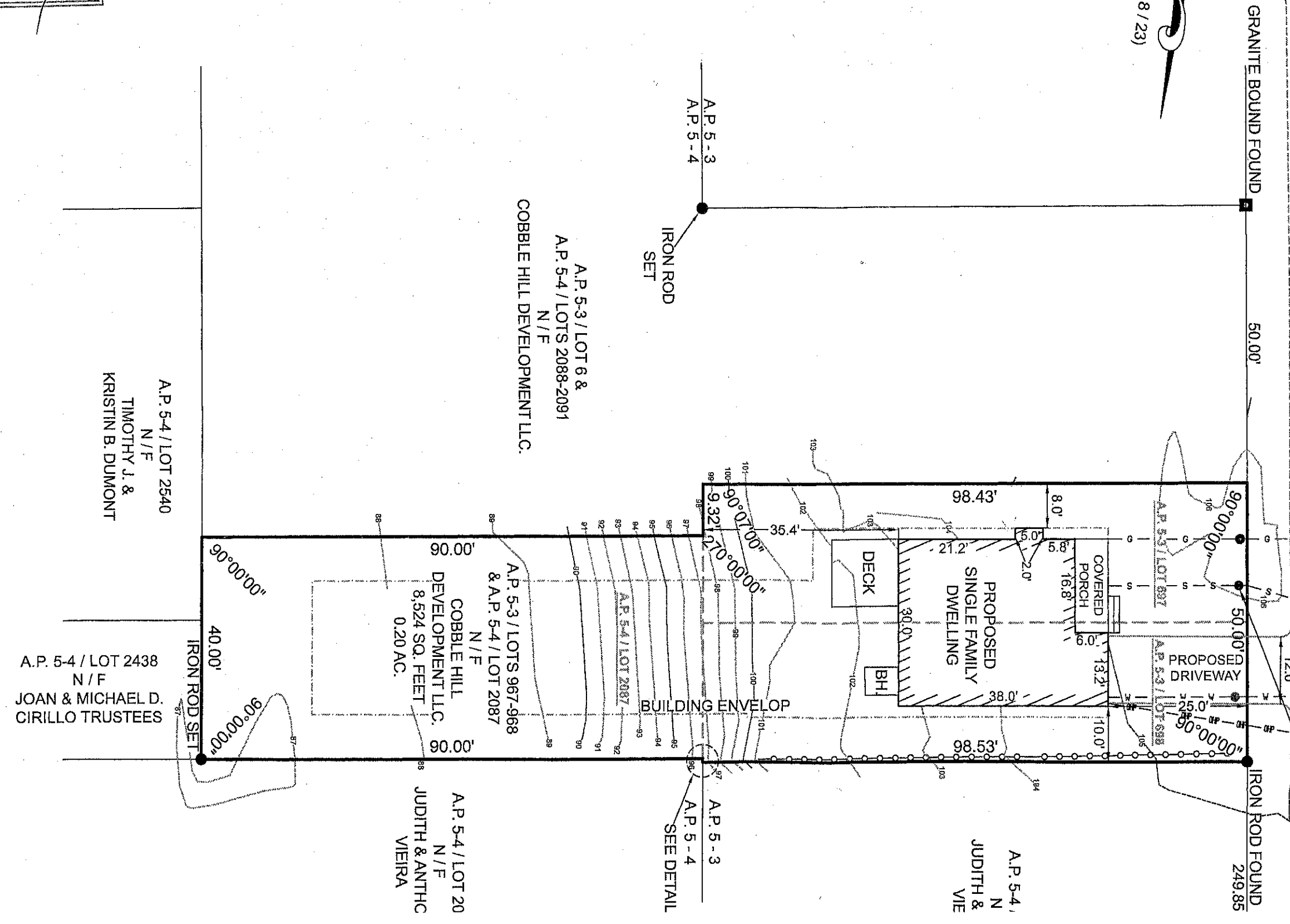
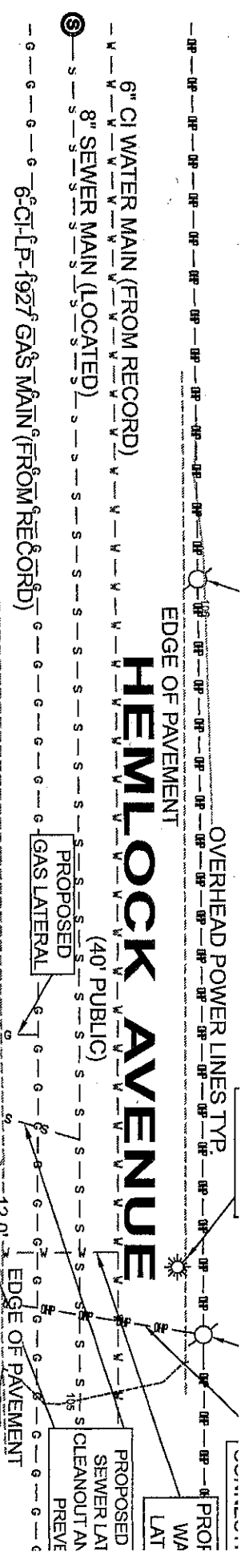
**32 X 30 COLONIAL**  
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 ALL DIMENSIONS ARE  
 GIVEN UNLESS OTHERWISE NOTED.  
 DIMENSIONS OF THIS PLAN  
 DOES NOT PERMIT THE USE OF PLANS  
 THAT HAVE BEEN ALTERED WITH  
 OUT WRITTEN PERMISSION.

**DLR DIMENSIONS**  
 401.738.3155  
 DLRDIMENSIONS.COM

DLR DIMENSIONS, INC.  
 401.738.3155  
 100 W. MAIN STREET  
 CRANSTON, RI 02905  
 ALL DIMENSIONS ARE  
 GIVEN UNLESS OTHERWISE  
 NOTED. DIMENSIONS OF THIS  
 PLAN DOES NOT PERMIT THE  
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SCALE NOTED
DATE Tuesday, August 30, 2022
APPROVED DRR
DRAWN BY DRR
DRAWING NUMBER 6657-42



A.P. 5-4 / LOT 2540  
N/F  
TIMOTHY J. &  
KRISTIN B. DUMONT

A.P. 5-3 / LOTS 967-968  
& A.P. 5-4 / LOT 2087  
N/F  
COBBLE HILL  
DEVELOPMENT LLC.  
8,524 SQ. FEET  
0.20 AC.

A.P. 5-4 / LOT 20  
N/F  
JUDITH & ANTHONY  
VIEIRA

A.P. 5-3 / LOT 6 &  
A.P. 5-4 / LOTS 2088-2091  
N/F  
COBBLE HILL DEVELOPMENT LLC.

A.P. 5-3  
A.P. 5-4  
SEE DETAIL

A.P. 5-4,  
N  
JUDITH &  
VIEIRA

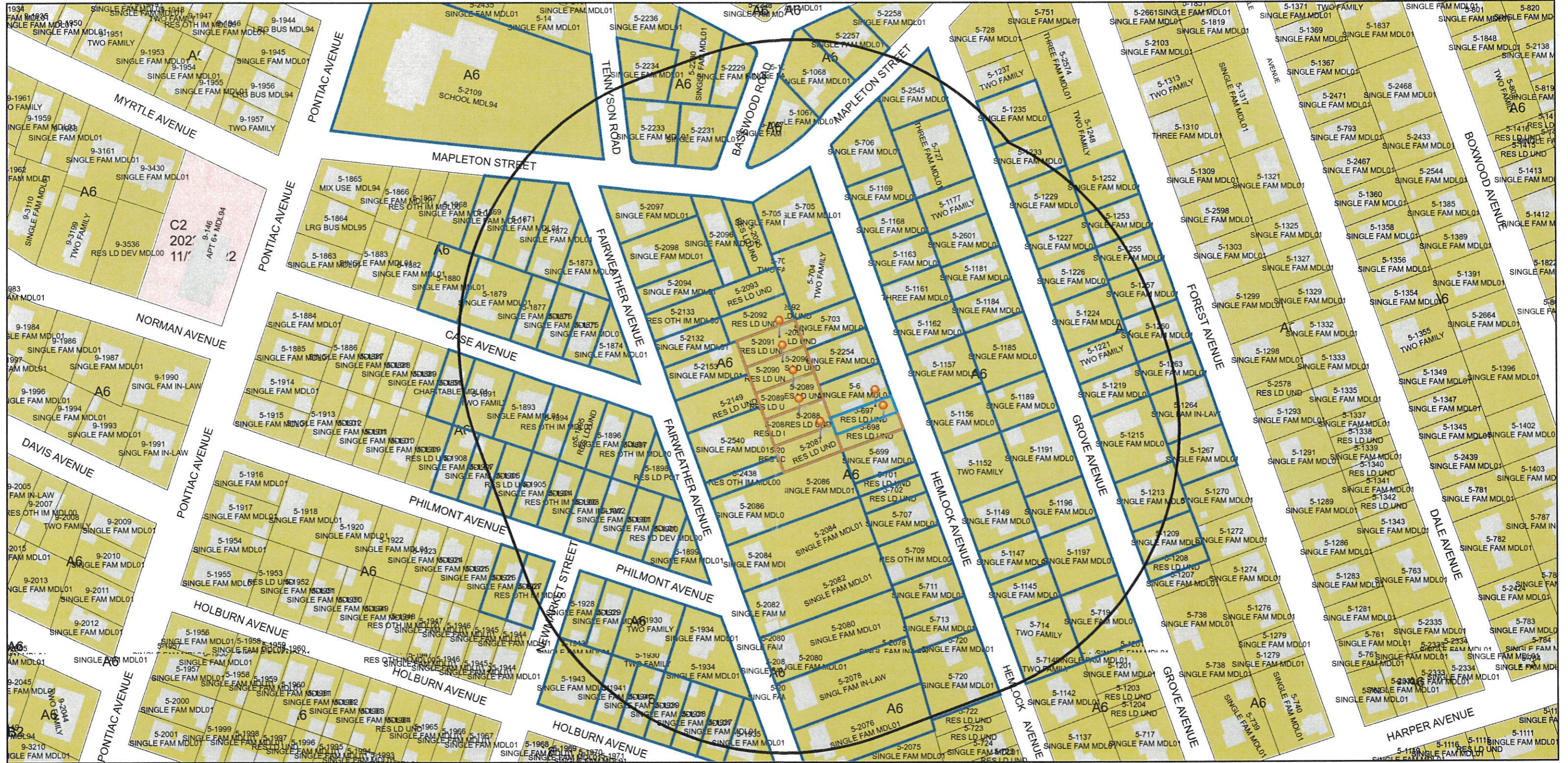
GRANITE BOUND FOUND 50.00' IRON ROD FOUND 249.85'

A.P. 5-3  
A.P. 5-4  
IRON ROD SET

40.00'  
90°00'00"  
IRON ROD SET

A.P. 5-4 / LOT 2438  
N/F  
JOAN & MICHAEL D.  
CIRILLO TRUSTEES

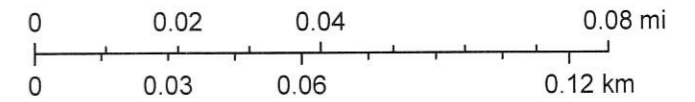
# 0 Hemlock Ave 400' Radius Plat 5 Lots 697-698, 2087-2091



9/6/2024, 2:28:52 PM

1:1,677

- |                            |  |                           |     |  |    |  |       |
|----------------------------|--|---------------------------|-----|--|----|--|-------|
| Selected Parcels in Buffer |  | Parcels                   | A80 |  | B2 |  | M1    |
| Selected Parcels           |  | Buildings                 | A20 |  | C1 |  | M2    |
| Parcels In Buffer          |  | Zoning Dimensions         | A12 |  | C2 |  | EI    |
| Parcel ID Labels           |  | Historic Overlay District | A8  |  | C3 |  | MPD   |
| Streets Names              |  | Zoning                    | A6  |  | C4 |  | S1    |
| Cranston Boundary          |  | none                      | B1  |  | C5 |  | Other |



City of Cranston